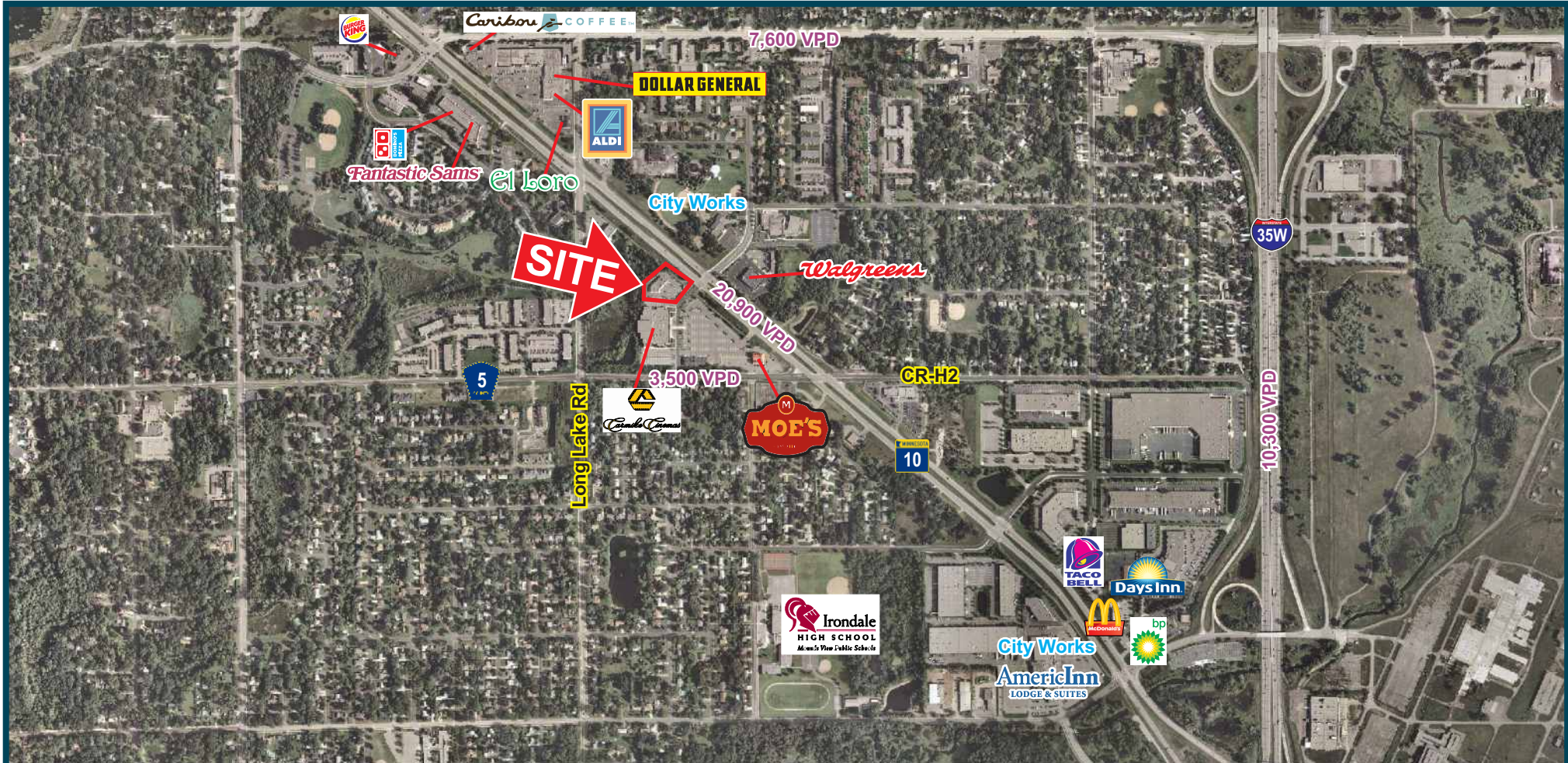


EDGEWOOD COMMERCE CENTER



3,913 SF RETAIL SPACE FOR LEASE - MOUNDS VIEW, MN



Last Space Available on Hwy 10

Site Plans attached are for informational purposes only and is not a warranty, representation or agreement that the Shopping Center or the parking areas, roadways, access points, sidewalks, buildings or other improvements will be as shown hereon, or that the occupants shown hereon will be in the Shopping Center. The above information was obtained from a source deemed reliable. Property is subject to price change, prior sale or lease, and withdrawal from the market without notice.



Your retail future
is our business

CONTACT INFORMATION

Charlie Hexum Direct: 952-563-6605
chexum@midamericagr.com

5353 WAYZATA BOULEVARD, SUITE 650, MINNEAPOLIS, MN 55416
www.midamericagr.com

EDGEWOOD COMMERCE CENTER



3,913 SF RETAIL SPACE FOR LEASE - MOUNDS VIEW, MN

**3,913 SF
AVAILABLE**



ADDRESS 2436 Highway 10
Mounds View, MN 55112

**2014 RATES
(Budgeted)**

CAM	\$4.76 psf
INS	\$0.35 psf
<u>RE TAX</u>	<u>\$3.33 psf</u>
Total	\$8.44 psf

AREA ANCHORS Carmike Cinemas, Walgreen's, Aldi, Mounds View Community Center

AVAILABLE SPACE Ste. 110 3,913 SF

- FEATURES**
- Attractive newer construction (2003)
 - High visibility at high traffic lit intersection
 - Ability to subdivide 3,913 SF
 - Competitive lease rates
 - Large storefront & dual sided pylon signage available
 - Great daytime population with multiple corporate campuses and schools nearby

TRAFFIC COUNTS 20,900 vpd on Highway 10
3,500 vpd on Edgewood Dr.

DEMOGRAPHICS

2436 Highway 10

Data Source - SiteUSA/AGS, Inc. 2013

POPULATION

1 Mile	9,577
3 Mile	59,043
5 Mile	182,231
7 Mile	360,725

HOUSEHOLDS

1 Mile	3,940
3 Mile	23,818
5 Mile	71,989
7 Mile	139,858

AVERAGE INCOME

1 Mile	\$67,772
3 Mile	\$73,119
5 Mile	\$75,637
7 Mile	\$76,895

Site Plans attached are for informational purposes only and is not a warranty, representation or agreement that the Shopping Center or the parking areas, roadways, access points, sidewalks, buildings or other improvements will be as shown hereon, or that the occupants shown hereon will be in the Shopping Center. The above information was obtained from a source deemed reliable. Property is subject to price change, prior sale or lease, and withdrawal from the market without notice.



Your retail future
is our business

5353 WAYZATA BOULEVARD, SUITE 650, MINNEAPOLIS, MN 55416
www.midamericagr.com

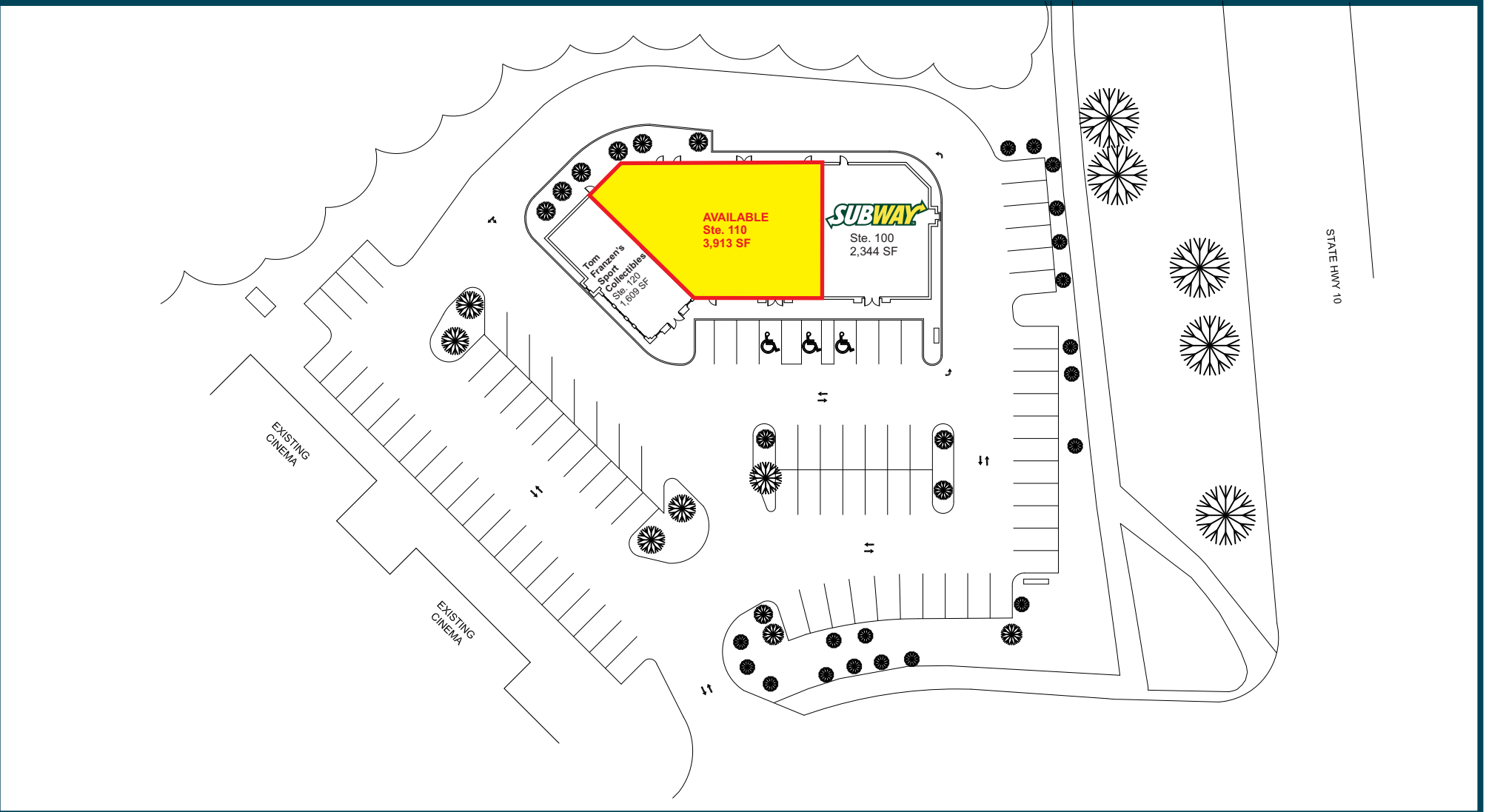
CONTACT INFORMATION

Charlie Hexum Direct: 952-563-6605
chexum@midamericagr.com

EDGEWOOD COMMERCE CENTER



SITE PLAN



Site Plans attached are for informational purposes only and is not a warranty, representation or agreement that the Shopping Center or the parking areas, roadways, access points, sidewalks, buildings or other improvements will be as shown hereon, or that the occupants shown hereon will be in the Shopping Center. The above information was obtained from a source deemed reliable. Property is subject to price change, prior sale or lease, and withdrawal from the market without notice.



Your retail future
is our business

5353 WAYZATA BOULEVARD, SUITE 650, MINNEAPOLIS, MN 55416
www.midamericagr.com

CONTACT INFORMATION

Charlie Hexum Direct: 952-563-6605
chexum@midamericagr.com