

City of Mounds View, Minnesota

2401 Highway 10, Mounds View, MN 55112-1499
(763) 717-4020 * Fax: (763) 717-4019

Attached Garage Information Sheet

This handout provides information to assist you in building a new attached garage in **residential** areas of Mounds View.

1. A combination of three garages, sheds or storage buildings is permitted per lot. If you have a garage attached to your residence, only two additional detached accessory buildings are allowed. No garage, shed or storage building may exceed 952 square feet unless you obtain approval from the City Council for a conditional use permit for an oversized accessory storage building. The combined square footage of all accessory buildings (garages and/or sheds) may not exceed 1,800 square feet. The square footage of all accessory buildings located in the rear yard cannot exceed 20 percent of the square footage of the rear yard.

2. Garages shall not exceed 15 feet in height, measured by mid-way between the peak and soffit.

3. Attached garages must have the following setbacks from property lines:

Side: five feet (5') – only the garage side of the primary structure may be within five feet of the property line. If the side is next to a street, then the setback is thirty feet (30')

Rear: thirty feet (30')

From Other Structures: must comply with IRC Section R302.01, Exterior Walls.

4. Framing Requirements:

Base Plates on concrete shall be a approved treated wood or approved wood of natural resistance to decay (redwood, cedar, etc.)

Studs supporting floors can be spaced no more than 16" o.c.; 2"x4" studs not more than 10' in length, supporting ceiling and roof only, may be spaced 24" o.c. with framing above centered over studs.

Rafters shall be nailed to adjacent ceiling joists to form a continuous tie between exterior walls when such joists are parallel to the rafters. When not parallel, rafters shall be tied to 2" x 4" minimum crossties. Rafter ties shall not be spaced more than four feet o.c.

Garage Door Headers for use when garage door opening is 16 feet:

No Roof Load	2-2"x12"
Hip Roof	2-2"x14" or 2-1 ³ / ₄ "x11-7/8" Micro-lam beams
Full Roof Load	3-2"x14" of #1 Douglas Fir or equivalent designed beam or 2-1 ³ / ₄ "x11-7/8" Micro-lam beams

Allowable Rafter spans for roofs with a pitch of 3-12 or greater:

1. Spruce-Pine-Fir #2 or better

Width in Inches	40 lb. Live Load			30 lb. Live Load (Detached Garage)		
	12"oc	16"oc	24"oc	12"oc	16"oc	24"oc
2 x 4	6'1"	5'3"	4'4"	7'5"	6'5"	5'3"
2 x 6	9'7"	8'3"	6'9"	11'8"	10'1"	8'3"
2 x 8	12'7"	10'11"	8'11"	15'5"	13'4"	10'11"
2 x 10	16'1"	13'11"	11'5"	19'8"	17'0"	13'11"

2. Allowable Ceiling Joist Spans:

Width in Inches	Spruce-Pine-Fir #2			Hem-Fir #2		
	12"oc	16"oc	24"oc	12"oc	16"oc	24"oc
2 x 4	11'7"	9'11"	8'1"	11'10"	10'9"	8'8"
2 x 6	18'2"	15'7"	12'9"	18'8"	16'11"	13'8"
2 x 8	24'0"	20'7"	16'10"	24'7"	22'4"	18'0"
2 x 10	30'7"	26'3"	21'6"	31'4"	28'6"	22'11"

5. Fire Protection

Garages shall be separated from living areas with approved material such as 1/2" gypsum board or equivalent, applied to the garage side. No doorway or window can open directly into a room use for sleeping purposes.

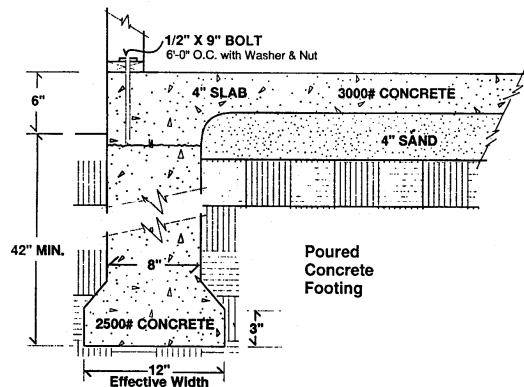
Garage and dwelling closer than 6" to each other shall have fire protection as required for attached garages.

Permit Requirements and Procedures

Submitting a Plan: You will need to prepare a plot plan showing your lot lines, any existing structures, and the location of the proposed garage or garage addition. You need to draw this plan to scale and mark dimensions on the plan. If you are having a contractor do the work, the contractor must be licensed with the State of Minnesota (See plot plan handout for requirements). Two copies of a cross-section of the proposed construction shall also be submitted.

The following diagrams are included to assist you in preparing your plans:

Sample Cross-Section (see Page 4)
Footing
requirements



Plan Review: The plan will be reviewed by the Community Development Department to check that the building meets the size and setback limits and that the structural design meets Building Code requirements.

Permit Issuance: After the plans have been approved the City will call to let you know that the permit is ready to be picked up. You will need to pay the permit fees if you have not already done so and get a copy of the permit before work begins. The inspection record card and the approved plans must be on the job site and available to the inspector. If not available the inspection may need to be rescheduled and a re-inspect fee may apply. If you are doing mechanical or plumbing work, separate permits are required.

Inspections:

- # Footings: After the footings are dug and the forms are in place, but **PRIOR TO POURING CONCRETE**.
- # Framing: To be made after the electrical & plumbing rough-in, and after the roof and all framing is complete, but prior to the application of any insulation or siding.
- # A final inspection when the structure is complete.

You need to call 763-717-4020 for an inspection when you are at each of these steps, at least 48 hours prior to when you want the inspection.

When you call, make sure you tell us:

- name
- address of the property
- type of inspection needed
- building permit #
- daytime phone number

Please remember if you are doing digging of any kind, call Gopher State One Call for utility locations at (651) 454-0002 or MN toll free at 1-800-252-1166. This is not an option—It's the law!

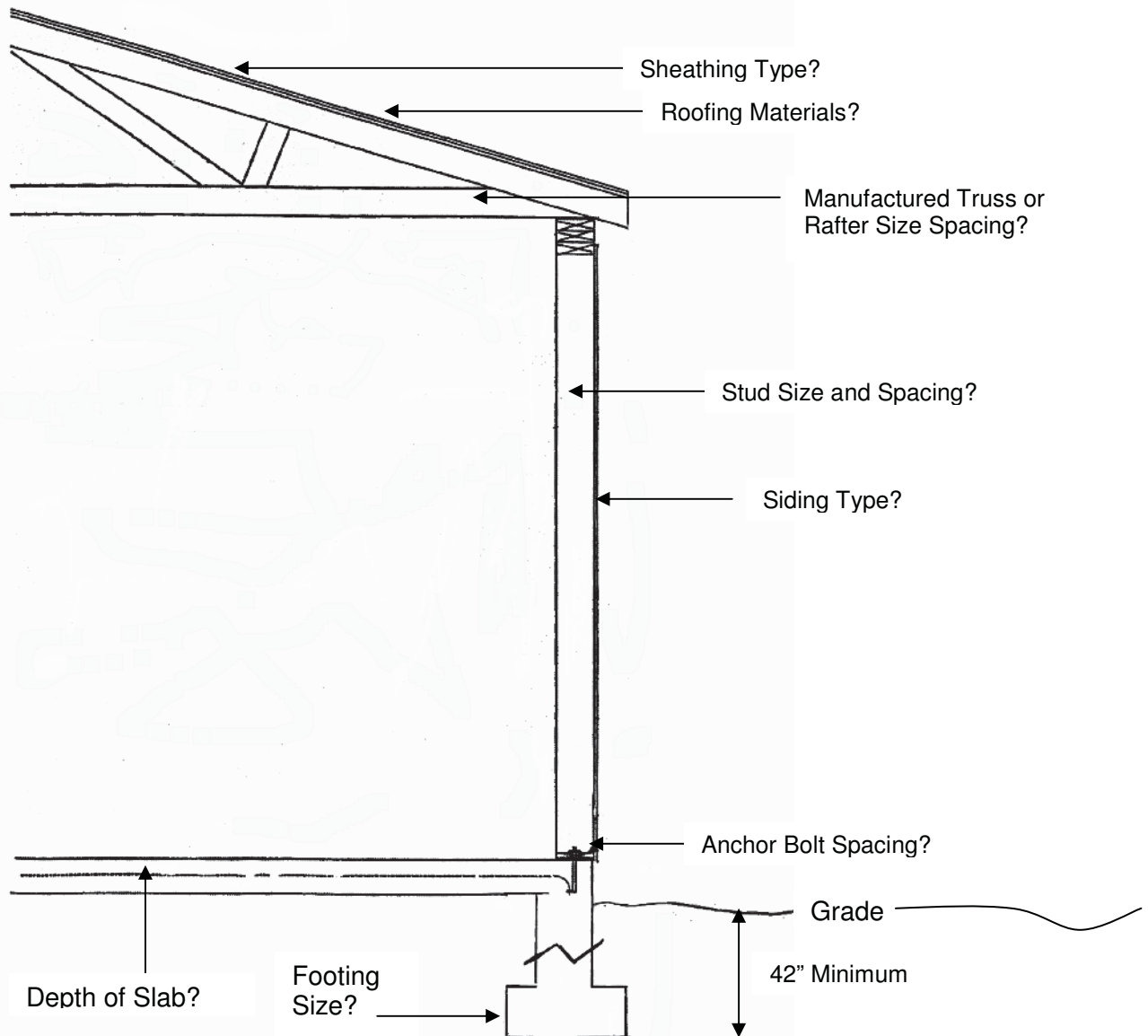
Questions?

If you have questions about the information in this handout, please contact the Building Official at (763) 717-4024, or the Community Development Technician at (763) 717-4020, or e-mail your questions to: permits@ci.mounds-view.mn.us.

The City also has permit applications available on our website at www.ci.mounds-view.mn.us

This information is a guide to the most common questions and problems. It is not intended nor shall it be considered a complete set of requirements.

Cross-Section:



(NOT ACCEPTABLE AS A SUBMITTAL DOCUMENT)

AUTOMATIC GARAGE DOOR OPENING SYSTEMS

Beginning January 1, 1993, all residential automatic garage door opening systems that are manufactured, sold, purchased, installed or repaired must include an attached edge sensor, safety beam, or similar device. When activated, the device causes a closing door to open and prevents an open door from closing. The device must also be designed to prevent the door from

closing if the device fails.

If an automatic system does not have this safety device as part of the system, or if the safety device does not function, the repair person must tag the system with a warning tag outlining the problem. The firm or person placing the tag must also notify the occupant of the residence within 10 days that the system does not comply.

NOTE:

The carton as well as the mechanism must be labeled or listed as being in compliance with Standard for Safety UL 325.

